

Command= 210-

Point#, Start#-End# or G#= 1-587

Bearing	Distance	Elev	Descrip	Pnt.	Northing	Easting	Type
-----12-26-2023-----10:07:38-----D:\BENCH FILES\BMHOME							
	50.53		1SETHUB	200	5015.9728	4485.5502	OCC
	48.13		2SETHUB	201	4712.8794	4429.8010	TRA
	49.13		3SETHUB	202	4943.2843	4720.8799	TRA
	45.94		4SETHUB	203	4911.0930	4505.5520	SS
	48.14		FNDIPIN	204	4990.6440	4605.7301	SS
	48.56		CORBLD	205	5009.5330	4539.3965	SS
	51.11		CORBLD	206	5016.6496	4510.1209	SS
	43.64		IPINHYS	207	5022.7691	4456.0531	SS
	32.00		IPINHYS	208	5024.9216	4316.8274	SS
	50.08		IPINBNT	209	5019.7277	4480.8705	SS
	39.56		SMH	210	5002.9337	4439.2617	SS
			CULV	211	4979.6462	4443.1944	SS
	50.16		CB	212	5007.7878	4484.1732	SS
	48.12		SMH	213	5002.1820	4552.8416	SS
	53.35		ENDFNC	214	4994.8073	4510.7904	SS
	50.64		<FNC	215	4981.3931	4502.2937	SS
	51.21		ELYRAIL	216	5081.3854	4513.9207	SS
	50.72		ELYRAIL	217	5010.6716	4496.7600	SS
	50.09		ELYRAIL	218	4909.6560	4472.2137	SS
	45.37		MLPST	219	4478.0380	4375.4820	SS
	41.91		FNDIPIN	220	4744.8484	4458.0171	SS
	43.83		FDRRSPK	221	4508.2301	4683.0994	SS
	37.11		FNDIP	222	4514.2576	4400.0333	SS
	47.59		ELRAIL	223	4523.4992	4378.4069	SS
	47.50		ELRAIL	224	4526.9711	4365.1773	SS
	48.84		ELRAIL	225	4717.9778	4425.6414	SS
	47.10		ENDPOST	226	4893.7711	4641.7546	SS
	49.24		FNDDH	227	4974.7835	4732.1657	SS
	48.48		FNDDH	228	5087.0758	4747.0857	SS
	51.00		FNDDH	229	5072.2582	4810.8426	SS
	49.49		FNDPK	230	4994.5931	4797.8211	SS
	50.47		FDSTK*	231	4945.1026	4790.8163	SS
	48.76		BKSWLK	232	4887.7350	4781.9436	SS
	48.03		BKSWLK*	233	4856.9041	4778.4197	SS
	47.30		FNDIP	234	4751.7972	4764.4887	SS
	47.08		FNDIP	235	4703.3894	4758.0016	SS
	46.95		****	236	4710.8218	4709.3146	SS

JOB #17 427MCMANN [587]

Bearing	Distance	Elev	Descrip	Pnt.	Northing	Easting	Type
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		12-26-2023		10:07:38		D:\BENCH FILES\BMHOME	
	47.17	BKWKEP	237	4728.7198	4712.4512	SS	
	47.62	BKWKEP	238	4794.3943	4720.9821	SS	
	47.76	BKWKEP	239	4815.6654	4723.6965	SS	
	48.09	BKWKEP	240	4851.5264	4727.9522	SS	
	48.34	CORWLK	241	4879.9092	4730.8849	SS	
	48.18	CORWLK	242	4879.2706	4736.7848	SS	
	48.25	CORWLK	243	4888.5291	4737.8343	SS	
	48.28	CORWLK	244	4891.6882	4732.0908	SS	
	48.58	CORWLK	245	4920.3199	4726.5750	SS	
	48.90	CORWLK	246	4919.9243	4719.3501	SS	
	48.88	SETSPK*	247	4884.4806	4731.0698	SS	
	49.25	ENDPOST	248	4924.5947	4715.7530	SS	
	49.22	CORPOST	249	4974.1562	4721.5847	SS	
	48.32	ENDPOST	250	4986.7572	4652.9021	SS	
	48.43	SETPKPOL	251	4994.7908	4641.3166	SS	
	48.44	ANCHOR	252	4994.0556	4626.4540	SS	
	48.17	IPIN	253	4990.6356	4605.7252	SS	
	45.97	HUB	254	4911.0911	4505.5532	SS	
	48.25	COREP	255	4984.7165	4572.4958	SS	
	48.59	COREP	256	4973.8364	4626.9329	SS	
	48.59	EP	257	4945.5886	4621.9467	SS	
	48.50	EP	258	4932.0378	4632.2405	SS	
	48.76	EP	259	4919.6629	4664.3355	SS	
	48.98	EP*	260	4919.1343	4712.1776	SS	
	49.51	CORBDBKW	261	4990.0435	4728.3994	SS	
	49.23	POST	262	4976.9359	4725.1383	SS	
	49.29	POST	263	4989.2962	4726.5506	SS	
	49.30	POLE	264	4982.7402	4733.2180	SS	
	48.55	EP<CURB	265	4923.2183	4726.3188	SS	
	48.43	CB	266	4976.1730	4740.1731	SS	
	48.09	EP	267	4903.4032	4620.5238	SS	
	47.58	EP	268	4917.1851	4580.7497	SS	
	47.02	EP	269	4923.2668	4561.1896	SS	
		FNDRRSPK	270	5128.0246	4598.4741	SS	
		FNDRRSPK	271	5116.7669	4639.2589	SS	
		FNDRRSPK	272	5106.5156	4676.5972	SS	
		clloc	273	5085.1927	4498.2465	TRA	
		clloc	274	4890.8446	4451.0362	TRA	
		calrow	275	4881.8746	4487.9624	TRA	
		calrow	276	4984.3000	4490.3250	INT	
		calrow	277	4519.7324	4377.4920	INT	
			278	5002.1068	4518.5397	INT	
			279	4754.5846	4417.9365	INT	
			280	5007.1897	4520.1880	TRA	
			281	5002.0554	4518.9407	INT	
			282	4483.2827	4353.8914	INT	
			283	4880.5687	4719.6480	TRA	
			284	4909.1718	4496.3778	INT	
			285	4879.0596	4731.4274	INT	
			286	4745.0629	4456.5131	INT	
			287	4745.3088	4454.7883	INT	
			288	4909.3935	4494.6471	INT	
			289	4879.1393	4730.8054	INT	
			290	4873.4720	4780.3134	INT	
			291	4819.0937	4475.3494	TRA	
			292	4708.9229	4709.9524	INT	
			293	4784.8557	4722.8285	TRA	
			294	4819.2858	4474.5431	TRA	

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Bearing	Distance	Elev	Descrip	Pnt.	Northing	Easting	Type
-----12-26-2023-----				10:07:38	D:\BENCH FILES\BMHOME		
				295	5080.8394	4746.2571	INT
				296	5020.9657	4572.7008	INT
				297	4973.2064	4744.1404	TRA
			DURG	300	4974.7411	4732.1603	
			DURG	301	4984.9715	4652.2928	TRA
			DURG	302	4990.9812	4605.3762	TRA
			DURG	303	4995.9364	4566.6923	TRA
			DURG	304	5128.0140	4598.3986	TRA
			DURG	305	5116.7667	4639.2485	TRA
			DURG	306	5106.5017	4676.5312	SS
			DURG	307	5087.0758	4747.0857	SS
			RRPLAN	308	5003.5562	4507.2285	TRA
				309	5100.7936	4530.5711	TRA
				310	5106.8627	4505.2894	TRA
				311	5006.8803	4481.2878	INT
				312	5148.0420	4514.9688	TRA
				313	5006.9059	4481.0880	INT
			FOSS	320	4744.8484	4458.0171	
			FOSS	321	4708.4618	4713.1859	TRA
			FOSS	322	4508.3124	4683.0193	TRA
			FOSS	323	4520.1966	4620.6090	TRA
			FOSS	324	4519.7195	4528.1102	TRA
			FOSS	325	4507.2432	4428.6094	TRA
			FOSS	326	4514.4282	4400.0493	TRA
			FOSS	327	4740.1024	4457.3299	TRA
			FOSS	328	4464.2896	4676.3842	TRA
			FOSS	329	4368.7490	4665.0546	TRA
			FOSS	330	4295.5962	4374.3158	TRA
			FOSS	331	4293.1708	4659.1955	TRA
			FOSS	332	4328.9792	4661.4616	TRA
			FOSS	333	4295.5962	4374.3158	TRA
			setmagn	334	4973.3280	4743.1875	SS
			setrrspk	335	4879.1581	4730.6756	SS
			anchor	336	4988.5739	4639.2065	SS
			epcor	337	4893.2521	4615.6593	SS
			ep	338	4889.6977	4647.5040	SS
			ep	339	4885.6833	4683.1097	SS
			ep	340	4881.7663	4716.2758	SS
			setnlmap	341	4907.6910	4596.7210	SS
			setrrspk	342	5002.1809	4517.9853	SS
			setip	343	4909.2680	4495.4519	SS
			dmh	344	4973.0139	4506.5419	SS
			dmh	345	5005.0474	4521.6750	SS
				346	5010.1653	4480.0212	INT
				347	5016.1427	4483.3317	INT
				348	4918.0216	4459.4965	INT
				349	5085.1929	4498.2466	TRA
				350	5007.8739	4508.2773	INT
				351	5076.0387	4535.9306	TRA
				352	5002.1773	4517.9885	INT
				353	4973.3283	4743.1882	SS
				354	4879.1559	4730.6759	SS
				355	4909.2938	4495.4256	INT
				356	5006.3579	4495.6950	INT
				357	5010.2357	4519.9460	INT
				358	5007.4150	4519.2608	INT
				359	5005.0100	4506.3276	TRA
				360	5016.8711	4509.2089	INT



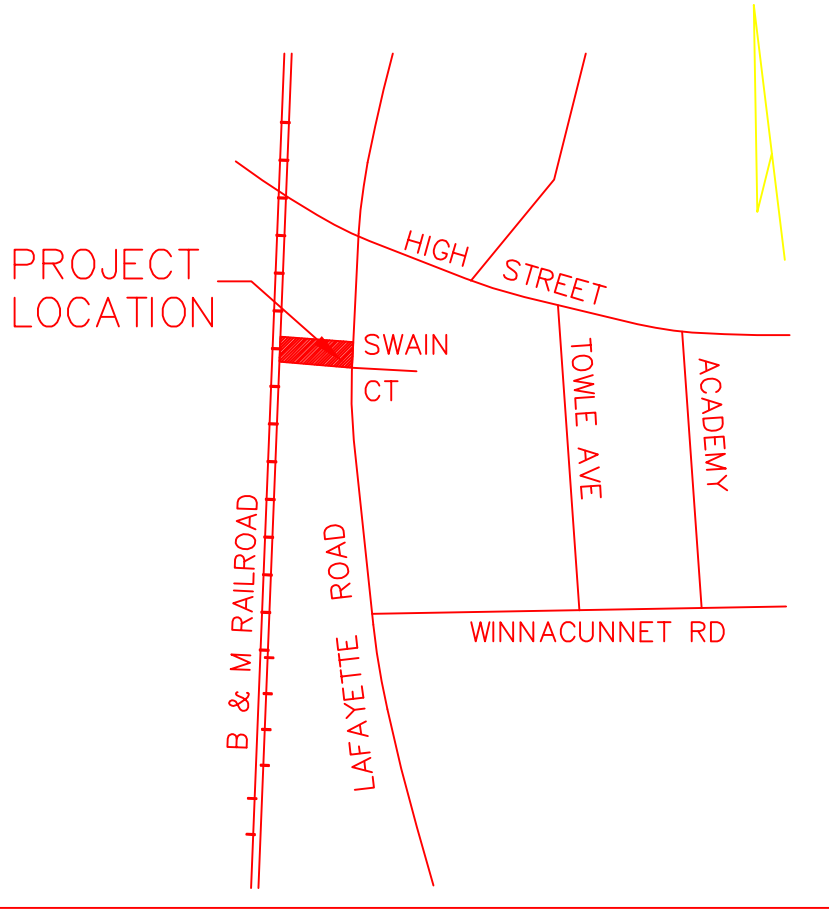
JOB #17 427MCMANN [587]

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-----12-26-2023-----10:07:38-----D:\BENCH FILES\BMHOME							
				361	5016.5835	4510.3930	INT
				362	4745.4306	4455.6206	INT
				363	4819.4175	4473.5932	INT
				364	4819.4078	4473.5909	TRA
				365	4745.1982	4455.5641	INT
				366	4514.3924	4399.4977	INT
				367	4918.4479	4457.7415	INT
				368	4977.3599	4488.6508	INT
				369	5002.1067	4518.5397	INT
				370	4972.0132	4510.6612	INT
				375	5009.6935	4481.9632	TRA
				376	5010.8597	4482.2465	INT
				377	5010.2357	4519.9460	INT
				378	4986.5143	4640.2563	INT
				379	4994.2847	4579.5869	TRA
				380	4993.0141	4589.5059	TRA
				381	4992.3788	4594.4653	TRA
				382	4991.7435	4599.4248	TRA
				383	4990.4730	4609.3438	TRA
				384	4990.3459	4610.3357	TRA
				385	4990.2189	4611.3276	TRA
				386	4990.0918	4612.3194	TRA
				387	4989.9648	4613.3113	TRA
				388	4989.8377	4614.3032	TRA
				389	4989.7106	4615.2951	TRA
				390	4989.5836	4616.2870	TRA
				391	4989.4565	4617.2789	TRA
				392	4989.3295	4618.2708	TRA
				393	4989.2024	4619.2627	TRA
				394	4988.5671	4624.2222	SS
				395	4987.9319	4629.1817	TRA
				396	4987.2966	4634.1412	TRA
				397	4986.6613	4639.1006	TRA
	47.12		setspk	400	4960.1033	4548.0157	INT
	49.79		RRSPK	401	5002.2597	4518.0540	SS
	45.53		INIP	402	4909.2465	4495.4332	SS
	46.63		FNDHUB	403	4933.2037	4513.8713	TRA
	47.70		DMHBS	404	4972.8692	4506.5775	SS
	48.28		BS	405	4989.9564	4514.5848	SS
	46.88		GATE***	406	4996.6873	4557.5661	SS
	46.88		RUNOFF	407	4984.7887	4556.1147	SS
	46.82		RUNOFF	408	4965.8520	4544.3092	SS
	46.68		RUNOFF	409	4950.1194	4535.3724	SS
	47.39		GND	410	4967.8920	4527.5689	SS
	46.91		BS***	411	4948.1291	4505.4270	SS
	47.87		MAGNL	412	4995.9361	4566.6968	SS
	48.18		PIN	413	4990.6234	4605.6653	SS
	47.74		PVMNT*	414	4971.8744	4561.6862	SS
	46.96		GND	415	4930.7660	4555.1823	SS
	46.79		GND	416	4943.1544	4536.0797	SS
	46.51		BSRR	417	4930.2640	4497.5122	SS
	42.93		BS	418	4901.7807	4496.1328	SS
	45.32		TS	419	4905.8609	4506.3958	SS
	46.35		GND	420	4928.0796	4524.9770	SS
	46.29		TSEP	421	4912.3122	4524.7578	SS
	45.37		TS	422	4902.0832	4516.5149	SS
	43.14		OS	423	4896.7470	4512.5038	SS
	47.03		TS	424	4908.6883	4542.9906	SS

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-----	-----	12-26-2023	-----	10:07:38	-----	D:\BENCH FILES\BMHOME	
		44.50	BIGCHRY	425	4905.3939	4558.4202	SS
		44.19	BS	426	4900.2790	4555.9638	SS
		43.32	BS	427	4890.5901	4539.6068	SS
		44.09	BS***	428	4898.0210	4571.9883	SS
		46.73	TS	429	4917.5141	4556.0479	SS
		44.23	BS	430	4909.1633	4563.5638	SS
		47.30	GND	431	4956.9215	4563.5430	SS
		48.03	PAV	432	4960.0485	4599.2157	SS
		47.87	PAV	433	4937.6698	4595.2158	SS
		48.19	PAV	434	4919.3157	4619.6242	SS
		47.76	TS	435	4911.3922	4608.4225	SS
		48.77	PAV	436	4905.2556	4678.5184	SS
		49.61	GND	437	4942.8860	4673.2275	SS
		50.01	GND	438	4948.1834	4700.2197	SS
		49.16	CORFNC	439	4974.5315	4721.9684	SS
		48.62	POST***	440	4896.4130	4712.2054	SS
		49.12	GND	441	4926.7264	4669.4524	SS
		49.56	GND	442	4961.7407	4678.1954	SS
		49.93	GND	443	4973.4624	4705.6908	SS
		48.34	GND	444	4981.5459	4671.7109	SS
		48.55	ENDFNC	445	4989.8352	4611.5313	SS
		47.45	TS	446	4914.9974	4585.2677	SS
		45.28	BS	447	4902.4669	4591.3337	SS
		48.35	TS	448	4899.0312	4637.9735	SS
		47.34	BSEP	449	4892.3419	4647.9363	SS

Point#, Start#-End# or G#= 4-



August 25, 2004

VIA FACSIMILE (431-8067)

Mr. Dirk Grotenhuis  
Kimball Chase  
29 New Hampshire Avenue, #4  
Newington, NH 03801

RE: **428 Lafayette Road**

Dear Dirk:

I have gone over the plans that you put together for Forest Homes of Massachusetts. This application is scheduled for hearing on September 1, 2004. However, there are several problems with the plans that would be better addressed before that hearing. The problem is that any new plans have to be submitted in order to give the Town Planner a chance to review them before the meeting, and she expects to get to that review sometime mid-week next week.

The specific comments that I have are as follows:

1. There are no metes and bounds on the site plan. I realize these appear on the existing conditions plan, but it is the site plan that is going to be recorded.
2. It appears that there is a large drop off south of the lot that will require a retaining wall. I did not see where that was shown on the plan, nor did I see any curbing along that side.
3. You show a post and rail fence along the south side on the existing conditions plan, but also show that same fence on the site plan running through the proposed driveway.
4. You show drainage connecting to a manhole off the west side of the property on land owned by the Boston & Maine Railroad. Do you know whether there is an easement for that?

5. You show a proposed dumpster in the middle of the north side of the property, but don't show specifically where that is within the area you've designated. There is also a tree in the middle of that location, which, apparently, will need to be removed, but is not on our property.
6. You list 11 parking spaces for the proposed retail use and 13 for the proposed rooming house, but show a total of 25. Are there 24 or one more for one of the two uses?
7. A number of the lines cross through words. The registry will not accept plans in that condition.
8. I did not see the location on the plan of the closest hydrant.
9. You did not indicate what the surfacing is going to be other than indicating edge of pavement. I mention this because I assume that the driveway and parking areas are going to be asphalt, but if that is the case, it does not appear that you have the 20% "green" area you indicate. Was part of this going to be pavers?
10. I do not see any lighting shown.
11. Although your detail sheet 3 shows how various types of shrubs and trees have been planted, I do not see any such plantings on the actual site plan. If you are going to have landscaping, you have to make sure that it will not interfere with the snow storage area.
12. I do not see any signs shown on the plan.
13. One of the requirements for submission is for elevation renderings and floor plans. Were those submitted?
14. The site plan does not indicate who the current owner of record is, who any of the abutters are, or who the developer is. I assume Forest Homes of Massachusetts is doing this, but there has to be an indication as to what kind of entity that is and where they are located.
15. You should have a space or block somewhere on the site plan for the Chairman to sign off on.

Very truly yours,

Peter J. Saari, Esq.

PJS/smm

cc: Tocky Bialobrzeski

**Tocky Bialobrzeski**

---

**From:** "Tocky Bialobrzeski" <stockton@tlc.net>  
**To:** "Dirk Grotenhuis" <dgrotenhuis@kimballchase.com>  
**Sent:** Friday, July 30, 2004 7:21 AM  
**Attach:** 236ROYAL.DWG  
**Subject:** McMann, Hampton

Hi Dirk,

Heard you took the project and have been given my working topo.

I don't know how things will be going from here. Attached is my former survey plan which is recorded.

Will you be needing more from me (expect to stamp the site plan perhaps) or shall I slip out of the picture?

Yes or no, either is fine.

I left 2 copies of some info from Public Works at Altus (1 set is for my files, left it there by mistake).

Are you close to their office or should I ask them to mail it over to you? mailing address?

Let me know what you think you will want from me, if anything, in the weeks ahead.

Thanks,

Tocky

PS Sorry my CAD stuff is not set up "conventionally". I learned it all the hard way and by myself.

Stockton Services

PO Box 1306

Hampton, NH 03843-1306

home 926-7795 (use it, I am never at the office these days 474-1954)

cell 765-8918



"REF MAP"  
143-20

"REF MAP 143-21"

DEPOT  
SQUARE

5A  
0.47 A

MAHALLI  
PARK

DEPOT  
SQUARE

ROAD

SWAINS COURT

LAFAYETTE

PRELIMINARY SITE DATA and PROPOSED AREAS:

Site Area	21,563	Square Feet (from Listing Sheet)
Front Setback	10	Feet
Side and Rear Setbacks	7	Feet
Maximum Impervious Surface	85 % of site area	
Building Footprint	4,555	Square Feet
Drives and Parking	11,000	Square Feet
Sidewalks	1,327	Square Feet
Total Impervious Area:	16,882	Square Feet (78 %)
Total Soft Landscape:	4,681	Square Feet (22 %)
Total Retail Space:	2,860	Square Feet
Retail Parking @ 300 sf:	10	Cars (provided)
Total Lodging Units:	12	Units
Lodging Parking @ 1/room + 1/12	13	Cars (provided)
Warehouse Space:	820	Square Feet
Total Parking Requirement:	23	Cars (provided)

428 LAFAYETTE ROAD  
Hampton, New Hampshire

Forest Homes Of Massachusetts

By First Commonwealth Group, Inc.  
A Forest Homes Authorized Builder

Leland Design Partnership  
Architects, Urban Designers  
1310 Broadway, Somerville, MA  
Voice: 617.623.4366  
Fax: 617.623.4362  
14 July 2004

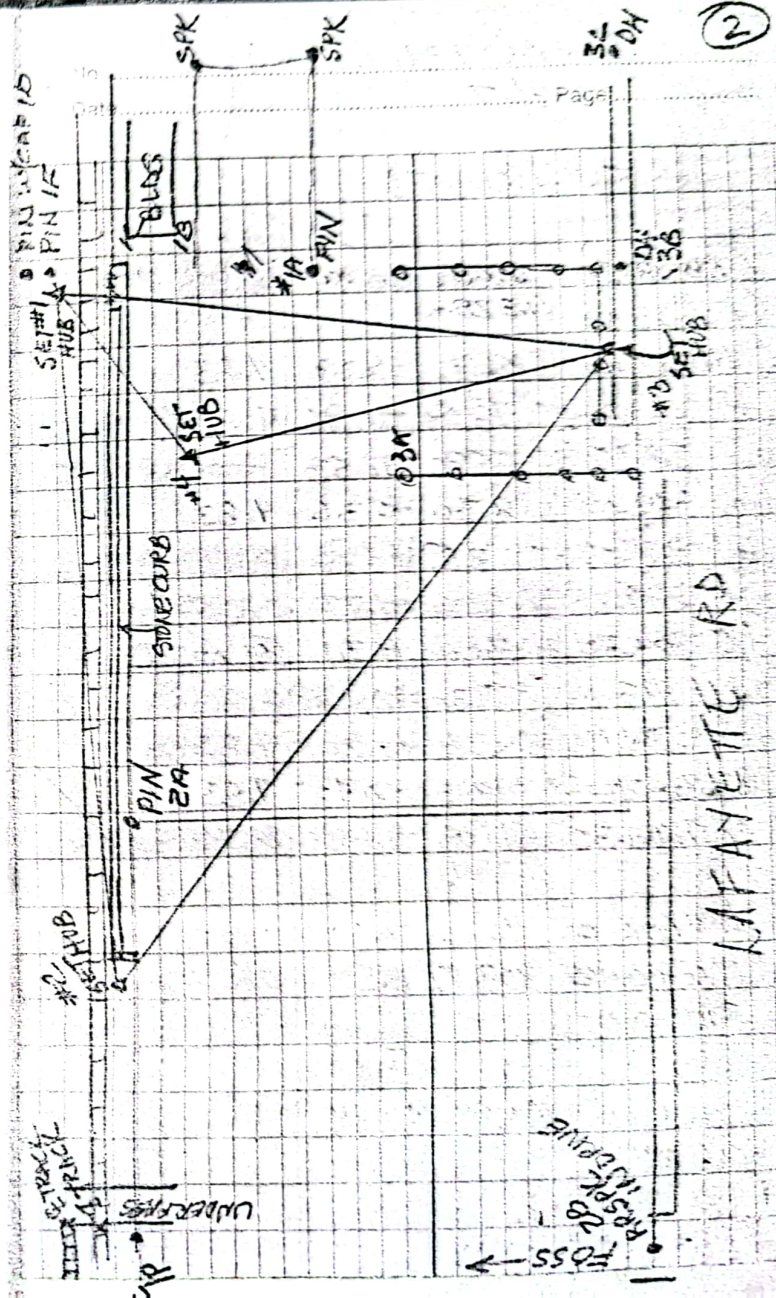
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502  
503  
236

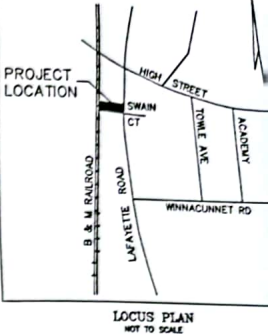
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	00-00-00	308.18 (93.932m)	-2.48	4.74	201 #1 SET 271118
	{ 338-46-50	106.77	-4.58	4.83	#1 SET #118
203	{ 317-33-40	(32.545m)			45.94
	{ 338-46-50				
204	{ 271-28-35	122.82	+0.12	7.33	1A FID 111N
	{ 182-57-30	(37.436m)			48.14
	{ 271-28-45				
	{ 276-44-30	246.31	-1.41	4.83	#3 SET 1118
205	{ 193-29-00	(75.075m)			
	{ 276-44-30				
206	{ 266-23-50	54.23	+0.21	7.00	B DE 48.56
	{ 172-47-45	(16.529m)			
	{ 266-23-52				
207	{ 258-00-00	24.58	+0.59	4.83	RCOR Bugs 51.11
	{ 156-00-00	(7.491m)			
	{ 258-00-00				
208	{ 92-33-15	30.27	-6.88	4.83	ID TOP FID 111N WICAP H4500
	{ 185-06-20	(9.125m)	30.27 (9.125m)		43.64
	{ 92-33-10				
209	{ 82-36-50	1168.96	-18.52	4.83	TOP FID 111N WICAP H4500
	{ 1165-13-40	(51.500m)			32.00

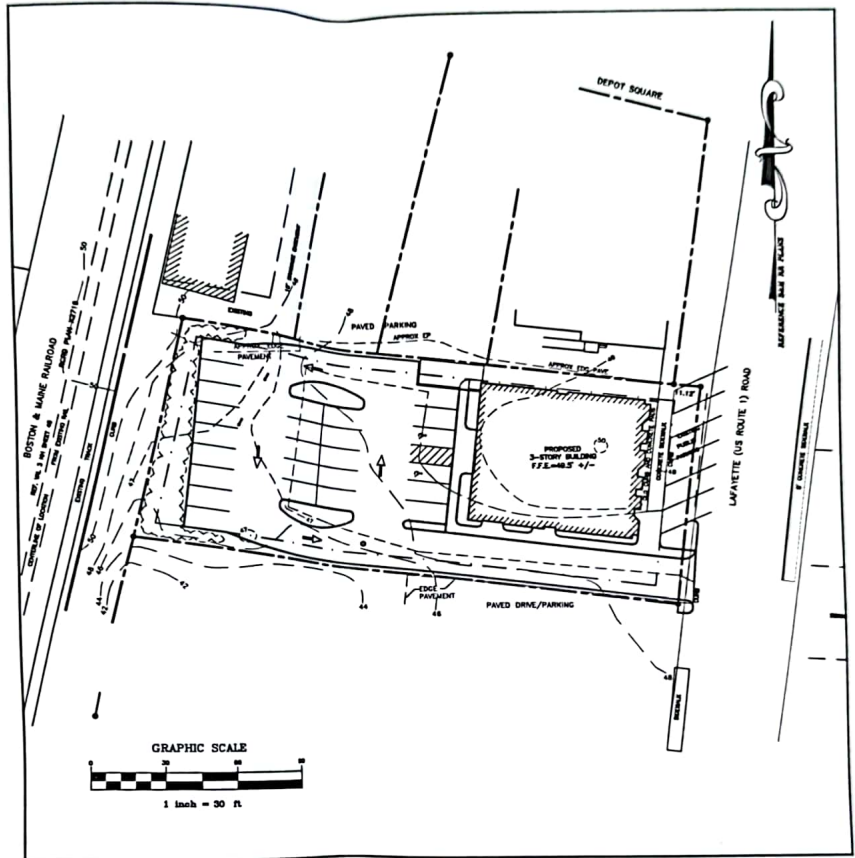




428 LAFAYETTE ROAD  
HAMPTON, NEW HAMPSHIRE



LEGEND	
PROPOSED	EXISTING
	PROPERTY LINE
	VERTICAL GRANITE CURBING
	EDGE OF PAVEMENT
	IRON PIPE
	GRANITE or CONCRETE BOUND
	UTILITY POLE
	CATCH BASIN
	DRAIN MANHOLE
	TELEPHONE MANHOLE
	SEWER MANHOLE
	GAS MANHOLE
	WATER MANHOLE
	DRAIN LINE
	SEWER LINE
	TELEPHONE LINE
	ELECTRIC LINE
	WATER LINE
	GAS LINE
	CONCRETE
	WATER SHUT OFF
	GAS SHUT OFF
	FIRE HYDRANT
	WELL
	EDGE OF WOODS
	SIGNS & SYMBOLS
	PARKING SPACE COUNT
	TREES
	HAYBALE BARRIER
	SILTATION FENCING



INDEX OF DRAWINGS

SHEET NO.	DRAWING NO.	DESCRIPTION
1	C-0	COVER SHEET
2	C-1	EXISTING CONDITIONS PLAN
3	C-2	SITE PLAN
4	C-3	GRADING & DRAINAGE PLAN
5	C-4	SITE DETAILS SHEET 1
6	C-5	SITE DETAILS SHEET 2
7	C-6	SITE DETAILS SHEET 3

LOCATION PLAN

ISSUED FOR REVIEW  
NOT FOR CONSTRUCTION  
PREPARED BY: RRC  
DATE: 8/12/04

REV	DATE	STATUS	BY	CHKD	APPD

DESIGNED BY: RRC  
DRAWN BY: RRC  
CHECKED BY: RRC  
APPROVED BY: DJG  
DATE: AUG 12, 2004

**HTA Kimball Chase**  
Consulting Engineers & Construction Managers  
Pace International Transport  
28 New Hampshire Avenue  
Portsmouth, NH 03801 FAX (603)431-8087

CLIENT  
**FOREST HOMES  
OF MASSACHUSETTS**

PROJECT	428 LAFAYETTE ROAD HAMPTON, NH	SCALE	1"
TITLE	COVER SHEET	PROJECT	5
		DRAWING	C
		SHT.	1

## Tocky Bialobrzkeski

---

**From:** "Tocky Bialobrzkeski" <stockton@ttlc.net>  
**To:** "Peter Saari" <psaari@casassaryan.com>  
**Sent:** Monday, September 27, 2004 10:19 AM  
**Subject:** FYI

Peter,

This e-mail was sent, as you can see, on September 14. I have not received any communication from Dirk since then nor have I gotten the last revisions as requested.

I billed Paul McMann a month ago for what I was originally asked to do (and did) , and e-mailed him last Thursday to be sure he understood that I had done additional work and confirm that he still wanted me to be involved. No answer.

I am feeling unpaid and unappreciated.

What would you do if you were in my shoes?

Tocky

— Original Message —

**From:** [Tocky Bialobrzkeski](#)  
**To:** [Dirk Grotenhuis](#)  
**Sent:** Tuesday, September 14, 2004 11:00 AM  
**Subject:** Re: 428 Lafayette Road, Plan Review Items

Dirk,

I'm sorry, but I don't really think there is a misunderstanding here. If you actually feel justified in submitting what you did the first time, then you and I are so far apart professionally that there is not much point in discussing anything. Your excuses and finger pointing when confronted put us pretty far apart personally as well. And of course you still maintain that everything is fine and going the way it should. I disagree. The rest of the "Project Team" was trying hard to get things fixed before the plans went out for review. I am not the only one who is embarrassed, and we were lucky to get through the Planning Board so well....both Peter and Jennifer were afraid that the Board would not accept jurisdiction. You and I are just not on the same page and that's the way it is, I guess. We just won't work together in the future and that will be fine. But right now we have things to do. So.....

Please e-mail me whatever changes have been delivered to date.

Following are some comments from looking over the first plan set, which is all I have:

1. The "site data" stuff on Phil's plans and your plan don't match up. I think the parking out front should be left out of the calculations entirely as they make things confusing. This is a general comment as well asking that we be sure plans from different entities are all saying the same things.
2. What is happening to the chain link fence along the northerly lot line? Also what about the trees I noted? Some of them are on the line or so close that they will likely be damaged or destroyed by construction. Abutters may object and with rights to do so.
3. There is no retaining wall shown on the south side. Also do not see clear indication of curbing. Proposed contours do not reflect either curb or wall, and width of curbing/retaining wall is not included in impervious calculations. By my calculations we will be pushing 84%.
4. Does the dumpster area have to be that big?
5. Could we please substitute USGS Quad sheet for location plan on the cover sheet? What you have on

10/26/2004

**Tocky Bialobrzeski**

---

**From:** "Tocky Bialobrzeski" <stockton@ttlc.net>  
**To:** "Paul McMann" <mcmann@foresthomes.com>  
**Sent:** Thursday, September 23, 2004 8:59 AM  
**Subject:** Odd Fellows

Hi Paul,  
I have not heard anything from anyone lately and am just checking to see where I stand.  
Officially, I have pretty much completed my work and have sent you a statement, but I have continued to put in time on this in the interest of the project. Will you be agreeing to take care of that time (\$350 to date)?  
This is a reminder on the outstanding billing and a question as to additional work. Did you, do you want me to remain involved? I will need to be OK of course with any future plan that requires my stamp.  
Tocky  
PS I sent my comments on the plans as submitted to Dirk some time ago and have not heard back.



Tocky Bialobrzewski

From: "Tocky Bialobrzewski" <stockton@ttlc.net>  
 To: "Dirk Grotenhuis" <dgrotenhuis@kimballchase.com>  
 Sent: Tuesday, September 14, 2004 11:00 AM  
 Subject: Re: 428 Lafayette Road, Plan Review Items

Dirk,

I'm sorry, but I don't really think there is a misunderstanding here. If you actually feel justified in submitting what you did the first time, then you and I are so far apart professionally that there is not much point in discussing anything. Your excuses and finger pointing when confronted put us pretty far apart personally as well. And of course you still maintain that everything is fine and going the way it should. I disagree. The rest of the "Project Team" was trying hard to get things fixed before the plans went out for review. I am not the only one who is embarrassed, and we were lucky to get through the Planning Board so well....both Peter and Jennifer were afraid that the Board would not accept jurisdiction. You and I are just not on the same page and that's the way it is, I guess. We just won't work together in the future and that will be fine. But right now we have things to do. So....

Please e-mail me whatever changes have been delivered to date.

Following are some comments from looking over the first plan set, which is all I have:

1. The "site data" stuff on Phil's plans and your plan don't match up. I think the parking out front should be left out of the calculations entirely as they make things confusing. This is a general comment as well asking that we be sure plans from different entities are all saying the same things.
2. What is happening to the chain link fence along the northerly lot line? Also what about the trees I noted? Some of them are on the line or so close that they will likely be damaged or destroyed by construction. Abutters may object and with rights to do so.
3. There is no retaining wall shown on the south side. Also do not see clear indication of curbing. Proposed contours do not reflect either curb or wall, and width of curbing/retaining wall is not included in impervious calculations. By my calculations we will be pushing 84%.
4. Does the dumpster area have to be that big?
5. Could we please substitute USGS Quad sheet for location plan on the cover sheet? What you have on there now looks, well, awful.
6. I thought sewer and water lines were supposed to be 10' apart. I don't think Public Works will allow a cleanout at that 90 from the building. My guess is that we would be looking to build a new sidewalk anyway and, if not, wouldn't digging it up for new sewer service be better than cost of new MH?
7. You have shown a "rounding" that goes into the abutter's driveway. I don't think we have a right to do that. Their driveway goes essentially to the property line.
8. I have a typo on tax map 160 lot 7. My apologies, and could you please fix it?
9. The legend on the cover sheet appears pretty unrelated to the actual plans. Could somebody look at that?
10. Not all of the information from the recorded plan has to go on the site plan. the iron pin notation off the sw cor can be deleted, as can detail A and B, but only by somebody who is attentive to drafting details. See final note below.
11. I believe that the Site Plan should be drawn at a 1"=10' scale. Anything not required to be on the Site Plan should be put on other sheets. See final note below.
12. I think I saw that the tie-in to Town drainage was moved to the right manhole. I was disturbed to hear you say at the Public Hearing that DPW recommended that we bring everything to the back of the site.

10/26/2004



That was not the case at all. As I explained to you early on, the information I got was not to be construed as an official recommendation nor did I say that all drainage was to go out back. My own thought was to drain the building into the front catch basin and out the rest out back actually. That of course is your call. I am only unhappy that you misrepresented what I told you and hope it doesn't get back to Bobby Walker in a negative way so that he does not cooperate with me in the future. It has taken me years to gain his trust. The Public Works Department has not recommended anything to date.

13. You also mentioned proposed electric service from a pole "in a cluster of trees". Pole is not in trees.

14. The maneuverability of trucks (dumpster pickup and tile delivery) is going to be a very big issue. I hope you can address it to the Board's satisfaction, although I don't know how.

15. You are showing a cut where that nice double maple is at the back of the property. I think we want to save that tree.

16. Time of concentration for building runoff is 15 min on your study. I think you meant 1.5 minutes. Not my department but could make a big difference.

17. There are a number of drafting details on all the plans that I would change. For example, leader to typical setback line is actually pointing to drain line. Near that leader, you have left a monument symbol floating. R22 notation for pavement curve near NW lot cor (obviously not 22'R) ? Stuff like that, which a careful inspection will uncover.

17. Final note: Do you want me to draft the site plan? I would use the information you have included wherever in the plan set, I would blow it up to a 10 scale, it would be recordable, and I would be able to stamp it without any more discord or difficulties. Your call.....we would obviously have to get client OK if you said yes. Otherwise, I will assume that you will have the site plan to me with plenty of time allowed for review and changes.

Thanks for trying, but I think we should just agree to disagree. If you will recall, I was reprimanded a while back for using "voice conversation" and not putting everything in writing.

Let's just stick to e-mail for now.....

Tocky

----- Original Message -----

**From:** Dirk Grotenhuis  
**To:** 'Tocky Bialobrzewski'  
**Sent:** Monday, September 13, 2004 4:39 PM  
**Subject:** RE: 428 Lafayette Road, Plan Review Items

Tocky,

Yes, please provide me your comments as soon as possible. I will also review the latest information you forwarded to us.

Do you have the latest site plans that will be going out to dept review? I can send you a set if not.

ps.

In regards to the email you sent early last week, that I read this morning, there is an obvious misunderstanding. I try to deal with all of my clients and their representatives with professionalism and expect the same in return.

My responses to Peter's comments were provided so as to resolve any outstanding issues. Item #7 specially addressed recording standards as I thought you and I understood that when your recorded plan + existing

10/26/2004

conditions + proposed site engineering information was overlayed to create the "Site Plan", that this would not constitute a recordable plan. I agreed and never indicated that it would. We will have to manipulate the survey to allow the conformance of recorders.

I certainly took exception to your statement that our plans were "not acceptable" and "had obvious engineering errors and deficiencies". Our firm has represented the Town of Hampton on many engineering matters as well as representation of private clients requiring site plan and concomm approvals. We have coordinated the entire time with Town Planner, Jennifer Kimball regarding the contents of the application. With particular attention to the recording of the site plan, it is her understanding that the recording issues will be addressed prior to final acceptance and that the application package was acceptable. In fact the Board accepted at their meeting. The site application deadline was met with all parties knowing that details and clarity was to be added after.

I feel a simple voice conversation to address any of these issues provides a better understanding versus this age of technology, fax and emails. Please call if you would like to discuss the miss-understanding further.

**Dirk Grotenhuis, P.E.**  
Associate

**HTA\Kimball Chase**

*Pease International Tradeport*  
29 New Hampshire Avenue - # 4  
Portsmouth, NH 03801  
Ph. 603-431-2520 Fax 603-431-8067  
dgrotenhuis@kimballchase.com  
www.kimballchase.com

-----Original Message-----

**From:** Tocky Bialobrzski [mailto:stockton@ttlc.net]  
**Sent:** Monday, September 13, 2004 1:10 PM  
**To:** Dirk Grotenhuis; mcmann@foresthomes.com; 'Phil Loheed'  
**Cc:** psaari@casassaryan.com  
**Subject:** Re: 428 Lafayette Road, Plan Review Items

Dirk,  
I have comments as well. Do you want them now?  
Tocky

— Original Message —

**From:** [Dirk Grotenhuis](#)  
**To:** [mcmann@foresthomes.com](#) ; 'Phil Loheed'  
**Cc:** 'Tocky Bialobrzski' ; [psaari@casassaryan.com](#)  
**Sent:** Monday, September 13, 2004 11:27 AM  
**Subject:** RE: 428 Lafayette Road, Plan Review Items

Sorry I was not able to respond to your emails from last week. I was out of town and did not get the request for coordination meeting. I will be available this week if necessary.

I will review Phil's comments and contact Tocky to coordinate any additional information.

I have had a discussion with Town Planner, Jennifer Kimball. She requested an additional set of revised plans to be sent directly to their review engineer (Ambit Engineering) which will go out today.

I also discussed additional changes and details/clarity to site plans. She suggests allowing the departments to review the current plans to get their comments, rather than provide additional revisions

10/26/2004



at this time. And we can address any changes/responses necessary after we get their comments. We are scheduled for the Nov 3rd meeting and Jennifer has requested comments back from dept. at least 3 weeks prior to meeting. This should allow ample time address and respond to their comments for the Nov meeting.

Thanks.

**Dirk Grotenhuis, P.E.**

Associate

**HTA\Kimball Chase**

*Pease International Tradeport*

*29 New Hampshire Avenue - # 4*

*Portsmouth, NH 03801*

*Ph. 603-431-2520 Fax 603-431-8067*

*dgrotenhuis@kimballchase.com*

*www.kimballchase.com*

-----Original Message-----

**From:** Paul McMann [mailto:mcmann@foresthomes.com]

**Sent:** Saturday, September 04, 2004 4:45 PM

**To:** 'Phil Loheed'; 'Dirk Grotenhuis PE'

**Cc:** 'Tocky Bialobrzewski'; psaari@casassaryan.com

**Subject:** RE: 428 Lafayette Road, Plan Review Items

If everyone is available, let's plan on a team meeting on Wednesday at 2:00 p.m. (or another time if that works better) somewhere up around Hampton to see if we can finalize the document and get consensus and agreement on what changes are necessary. Thanks, Paul

---

**From:** Phil Loheed [mailto:philloheed2@mac.com]

**Sent:** Friday, September 03, 2004 5:32 PM

**To:** Paul McMann; Dirk Grotenhuis PE

**Subject:** 428 Lafayette Road, Plan Review Items

Paul and Dirk,

I have reviewed the plan layout and grading information given to me by Dirk the other night. The following items need to be addressed and/or corrected by Kimball Chase. There are several deviations from the design information supplied to Kimball Chase in DWG format. I do not agree with these changes and feel they need to be corrected as follows:

1. Revise the fenced enclosure and paving configuration at the dumpster to conform to the architectural layout as given to Kimball Chase.

10/26/2004

2. Revise the paving configuration at the driveway entrance to conform to the architectural layout (with small circular planting area) as given to KC.

3. Revise the curb along the south property line, and the planting islands to conform to the architectural layout. This means that a small ( $\pm$  1-2 foot) retaining wall will be required for a portion of the length at the property line, however this wall will be necessary to deal with item 4 below. (I believe that the designed configuration is also slightly better from the point of view of car/truck maneuvering space.)

Another item noted on the three sheets we have in hand is a grading issue (please forward a complete set for review when possible):

4. Re-grade the driveway to eliminate/reduce the 5% cross slope near the SW corner of the building. (5% slope is too steep for safe winter conditions as people are walking along the drive). Please send a proposal for re-grading this area for review.

Here are a few graphic/factual items we noted as well:

5. Lot Frontage is 106.12 feet, not 95 feet as stated on Sheet 3.

6. "Storage" is not a proposed use in the parking calculations on Sheet 3.

7. A double asterisk at the (\*\*HANDICAP ACCESSIBLE) line has no note. Either remove the \*\* or add the note. (Accessible is misspelled on the drawing.)

8. As noted by the Town planner, all drawings need to be carefully reviewed for spelling, typos and graphic clarity.

In any situation where the engineering drawings will disagree with the architectural design information, please advise me before issuing any revisions to the Town.

10/26/2004

Thanks,

Phil

--

**Philip Loheed, AIA, NCARB**

Principal

**Loheed DESIGN PARTNERSHIP**

Architects + Urban Designers

1310 Broadway, Suite 103

Somerville, MA 02144 USA

web site: [www.LDParch.com](http://www.LDParch.com)

vox: 617-623-4366

fax: 617-623-4362

mobile: 617-312-0717

email: [phil@LDParch.com](mailto:phil@LDParch.com)

8mb maximum

[philloheed.ldap@verizon.net](mailto:philloheed.ldap@verizon.net)  
[philloheed2@mac.com](mailto:philloheed2@mac.com)

8mb maximum

3mb maximum

10/26/2004

— T —  
— OHE —  
— W —  
— G —



— SF —

— T —  
— OHE —  
— W —  
— G —



11/11/04

11/11/04

REVISIONS CITY ENGINEER COMMENT ON 10-13-04

STATUS

BY

CHKD

APPD

TELEPHONE LINE  
ELECTRIC LINE  
WATER LINE  
GAS LINE

CONCRETE

WATER SHUT OFF

GAS SHUT OFF

FIRE HYDRANT

WELL

EDGE OF WOODS

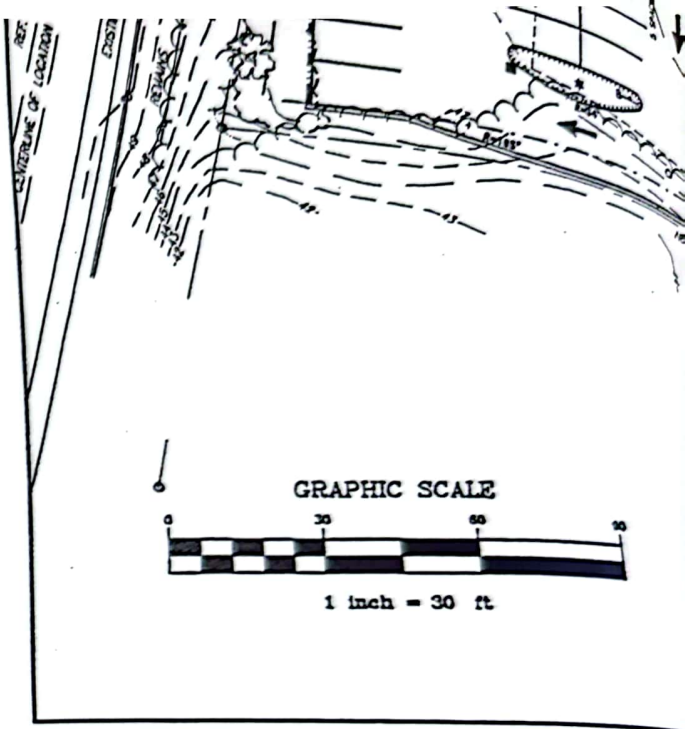
SIGNS & SYMBOLS

PARKING SPACE COUNT

TREES

HAYBALE BARRIER

SILTATION FENCING



USED FOR REVIEW  
FOR CONSTRUCTION

DESIGNED BY: RRC/MAM

DATE: 11/11/04

DESIGNED BY: RRC

DRAWN BY: RRC

CHECKED BY:

APPROVED BY: DJG

DATE: AUG 12, 2004

Cons  
Cons  
Pease  
29 N  
Port



Stockton Services  
PO Box 1306  
Hampton, NH 03843-1306

Paul McMann  
Forest Homes of Massachusetts  
One Militia Drive  
Lexington, MA 02421

November 24, 2004

Dear Paul:

Please find enclosed what I believe is the third bill I have sent to you. I did add something for the additional work I did in the interest of the project. I am upset, of course, and embarrassed to have to keep billing you. I have never been ignored by any client in the 17 years I have been in business for myself. Nor have I had anything resembling the problems I encountered trying to work with Dirk Grotenhuis.

I shook your hand a long time ago and did exactly what I was asked to do. As things moved along and I saw the approval process in jeopardy, I stepped up in good faith and tried to keep things going in the right direction.

In case you think everything is ok, please be reminded that the site plan is no more suitable for recording that it was the first time it was presented. I was promised but was never sent a single revision to the original plan set. I did, however, get them on my own at the Town Hall. I volunteered early on to redraft the site plan to make it suitable to stamp and record. That offer was ignored, as were most of my review comments (which Dirk asked for and was expecting). Additional information which was requested and provided without delay was not added to the plan, such as the hydrant almost directly across the street, which was sent to them on September 6<sup>th</sup>.

I cannot stamp the plans the way they are. I am not trying to be hard-nosed here, The simple fact is that any of those sheets, if presented for recording, will be rejected by the Registry of Deeds.

I have no idea what is and has been going on with you. I have made my mistakes in life, but have generally been a reasonable judge of character. You struck me as an honest guy. Please prove me right by replying to this letter one way or another. Payment would be appropriate. If you want me to walk away then please remit the original \$1,000 we discussed and I will have no hard feelings.

Thanks.



# LETTER OF TRANSMITTAL

☐ Overnight ☐ Overnight Priority ☐ Ground ☐ Hand Carry ☐ To Be Picked Up ☒ Standard Mail ☐ 2<sup>nd</sup> Day

TO: Stockton Services  
P.O. Box 1306  
Hampton, NH 03843-1306

DATE	3/10/05	JOB NO	546401
ATTENTION: Tocky Bialobrzski			
RE 428 Lafayette Road, Hampton NH			
Site Plan Application			
Forest Homes of Massachusetts			

WE ARE SENDING YOU: ☒ Attached ☐ Under separate cover via the following items:

☐ Shop Drawings ☐ Prints ☒ Plans ☐ Report ☐ Specifications

☐ Copy of Letter ☐ Change Order ☐ Addendum # ☐ Product Cuts ☐

COPIES	DATE	NO.	DESCRIPTION
1	rev 3/7/05	7 sheets	Site Plans (22"x34")

These are transmitted as checked below:

☐ For approval ☐ Reviewed as submitted ☐ Resubmit \_\_\_ copies for approval

☒ For your use ☐ Reviewed as noted ☐ Submit \_\_\_ copies for distribution

☐ As requested ☐ Returned for corrections ☐ Return \_\_\_ corrected prints

☐ For review and comment ☐ PRINTS RETURNED AFTER LOAN TO US

☐ For bids due

## REMARKS

Final mylars and original letter are at my office for pick up by Paul. Sheets C-1 Site Plan and C-2 Grading & Drainage Plan are to be recorded. These require surveyors stamp and signature. They then can be submitted to Planning Board for final approval.

Please coordinate with Paul for plan review, signature, and stamping.

Copy to: Hampton DPW, Ambit Engineering

Peter Saari

Paul McMann

Signed:

  
Dirk O. Grotenhuis PE, Chief Civil Engineer

*If enclosures are not as noted, kindly notify us at once.*

HOYLE, TANNER & ASSOCIATES, INC.

CASASSA AND RYAN

ATTORNEYS AT LAW

459 LAFAYETTE ROAD

HAMPTON, NEW HAMPSHIRE 03842-2242

(603) 926-6336

TELEFAX (603) 926-4127

\*MEMBER: NH AND ME BAR

H. ALFRED CASASSA  
JOHN J. RYAN  
PETER J. SAARI  
ROBERT A. CASASSA  
FAYE R. GOLDBERG\*  
DANIEL R. HARTLEY\*

November 4, 2004

Mr. Paul McMann  
1 Militia Drive  
Lexington, MA 02421

RE: **428 Lafayette Road**

Dear Paul:

At the scheduled Planning Board meeting last night, I had to continue the matter to the November 17<sup>th</sup> meeting, because of the absence of the information that the Town had requested at the last meeting. I have seen the e-mail from Dirk requesting that information, but as of yesterday, that had apparently not been provided. I expect that if the information is not available by the 17<sup>th</sup>, the Board will deny the application, forcing you to start over again.

Given that there is not really all that much that the Town is still looking for, it is puzzling to me why there is no apparent progress.

Very truly yours,

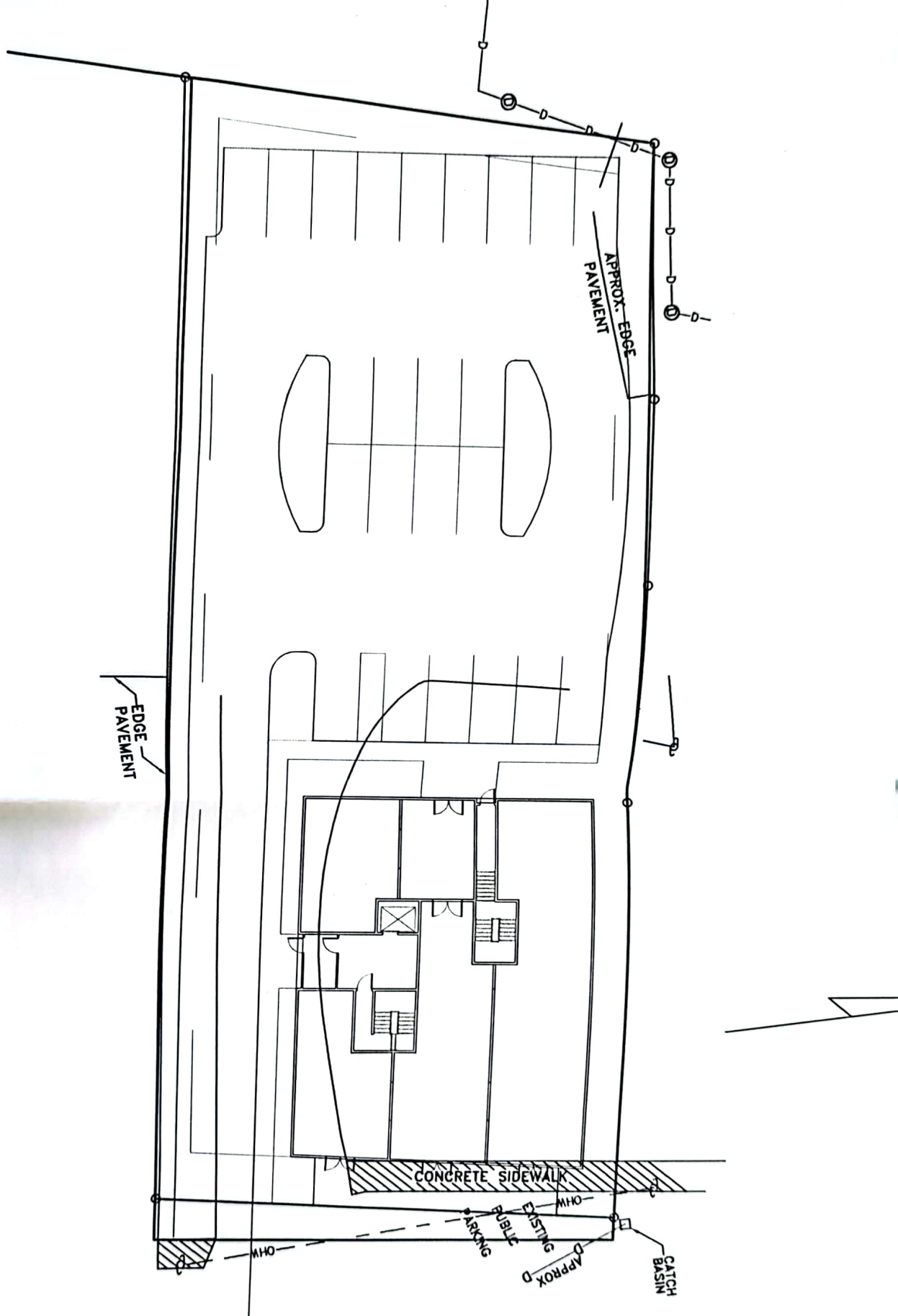


Peter J. Saari, Esq.

PJS/smm

cc: Dirk Grotenhuis  
Tocky Bialobrzski  
Phil Loheed





LAFAYETTE (US ROUTE 1) ROAD

1" = 20'

428 Lafayette Rd

Odd Fellows -  
NO service

5478

Carol Smith

- 436-0310-  
Bay State Gas  
Northern Utilities-

1-877-427-4748  
X 5391

Portsmouth

8/17/04

spoke w/  
\* Lee \*  
NO SALES

\* 400 -  
\* Lafayette \*  
\* \* \* \* \*  
\* \* \* \* \*  
\* \* \* \* \*

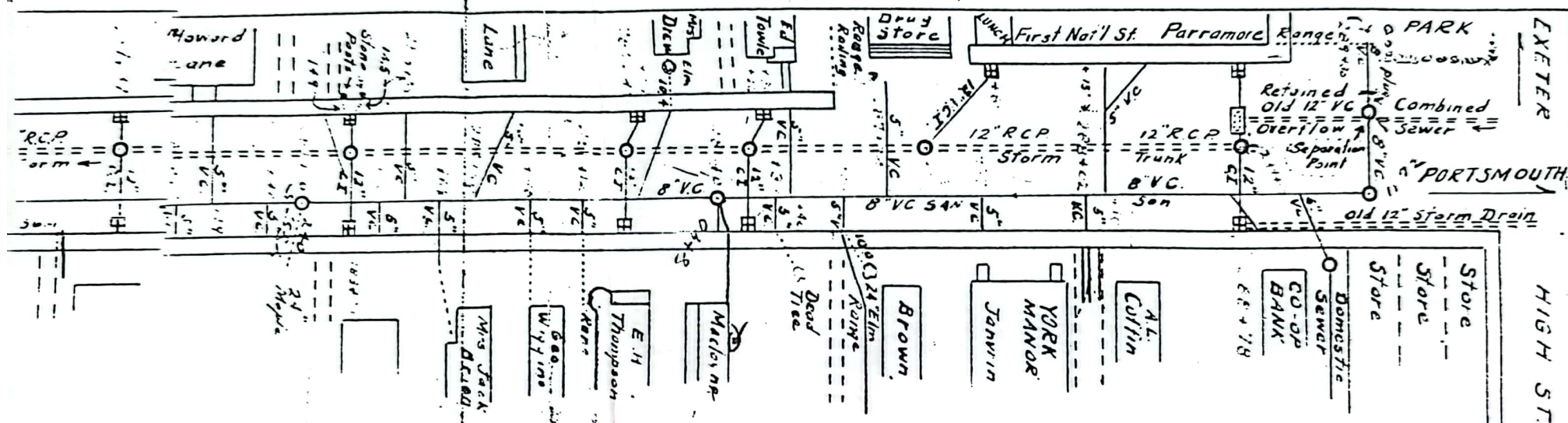
GAS

- 428 Lafayette Rd -

408 are  
436 ones  
that  
have  
service  
on this  
SIDE  
OF RD

420

GAS MAIN 6" PLASTIC  
5' IN FROM ROAD  
CURB W/S RD



SKETCH MAP of SEWERS and DRAINS

# HAMPTON VILLAGE

Stations Refer to State Base 1934.

ROUGH TO SCALE ONLY  
L. B. HOYT, RES. ENG. DEL.



SN: 3622 -  
22.1  
22.2 ) 3 Serve all at 1 TAP.

428 Lafayette Rd

# REPORT OF TAPPER

SERVICE PIPE: SIZE 3" INCH, KIND Copper

WATER MAIN: SIZE 8" INCH, KIND C.I.P.

LOCATION OF MAIN — TOP IS \_\_\_\_\_ Ft. \_\_\_\_\_ In. BELOW ST. SURFACE

\_\_\_\_\_ Ft. \_\_\_\_\_ In. OF \_\_\_\_\_ CURB PROP. LINE \_\_\_\_\_ ST.

DISTANCE FROM TAP TO CURB STOP 40'

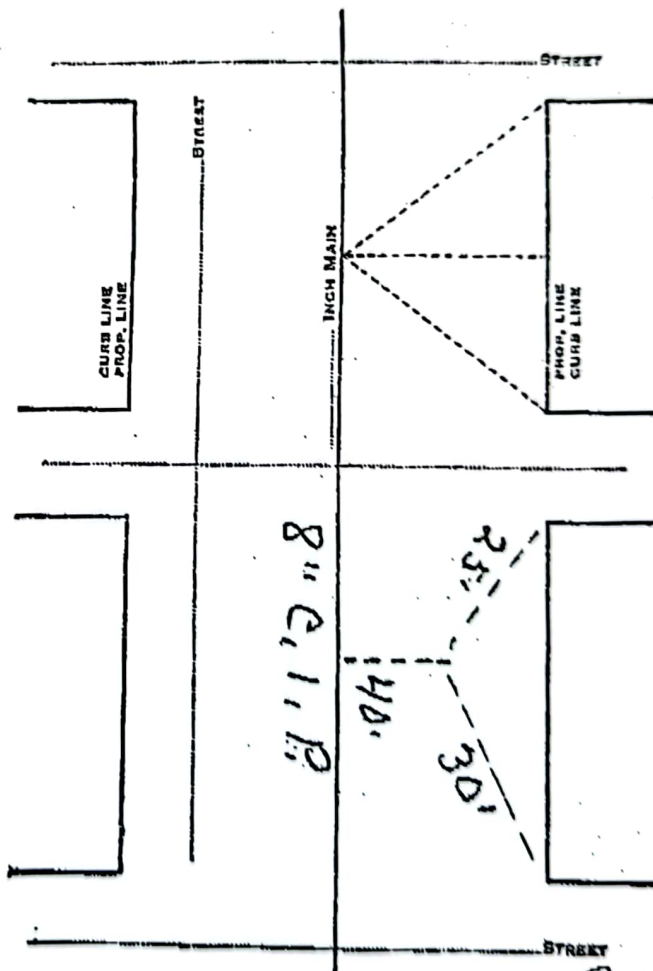
DISTANCE FROM CURB TO CURB STOP \_\_\_\_\_

LOCATION OF CURB BOX \_\_\_\_\_

KIND OF PAVING \_\_\_\_\_

DATE TAPPED \_\_\_\_\_ BY \_\_\_\_\_

## DIAGRAM

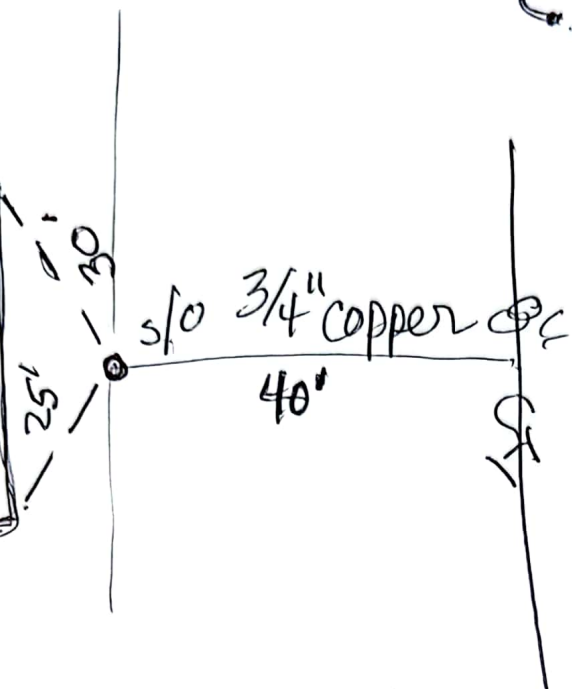


Main on East Side

Duck

431-8067

DRUG ROCKINGHAM  
STORE  
BANK NEWIRE  
OF HAMPSHIRE



80" C.I. MAIN E/S ROUTE 1

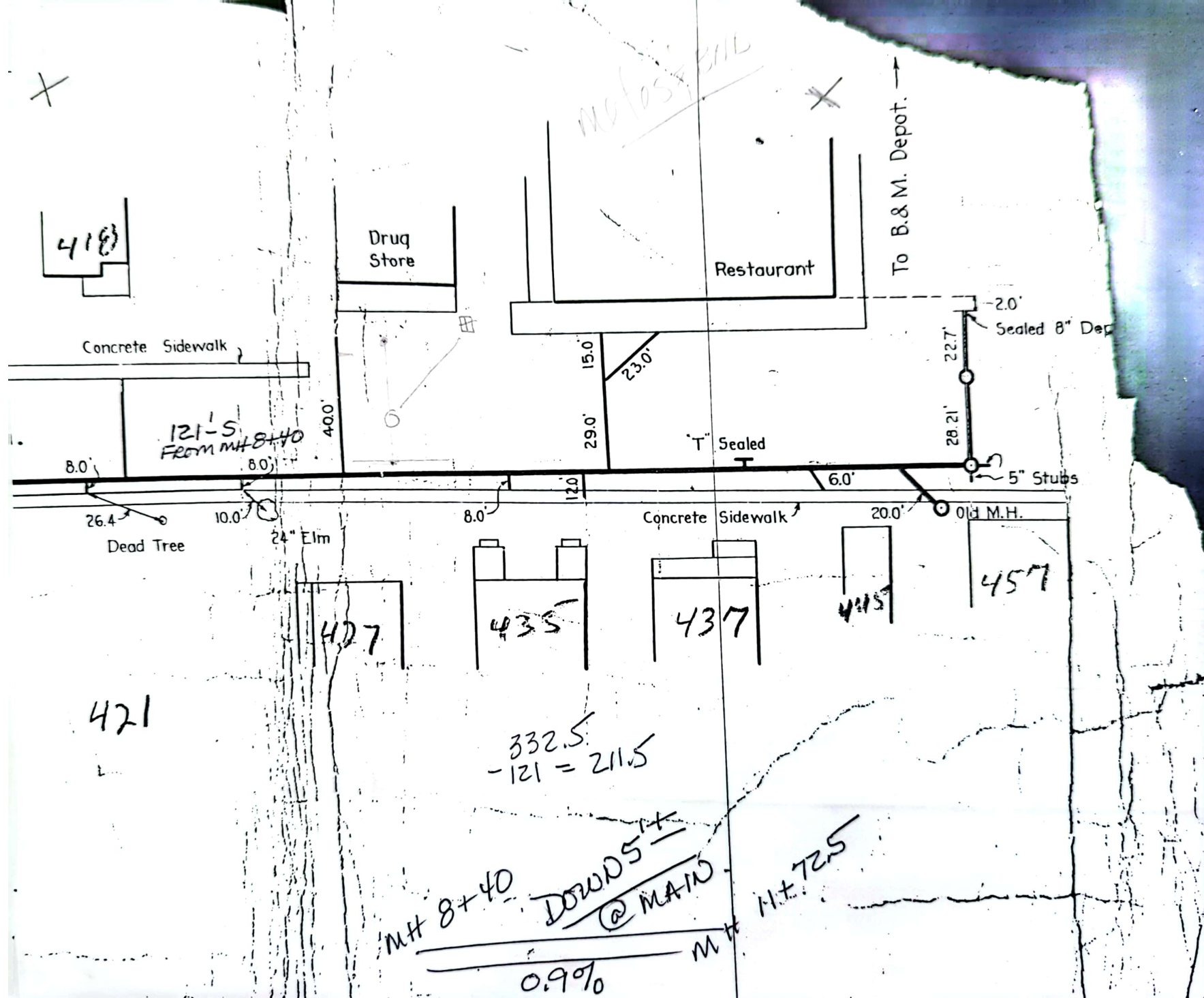
DIRK

26, 27  
260, 261  
46-

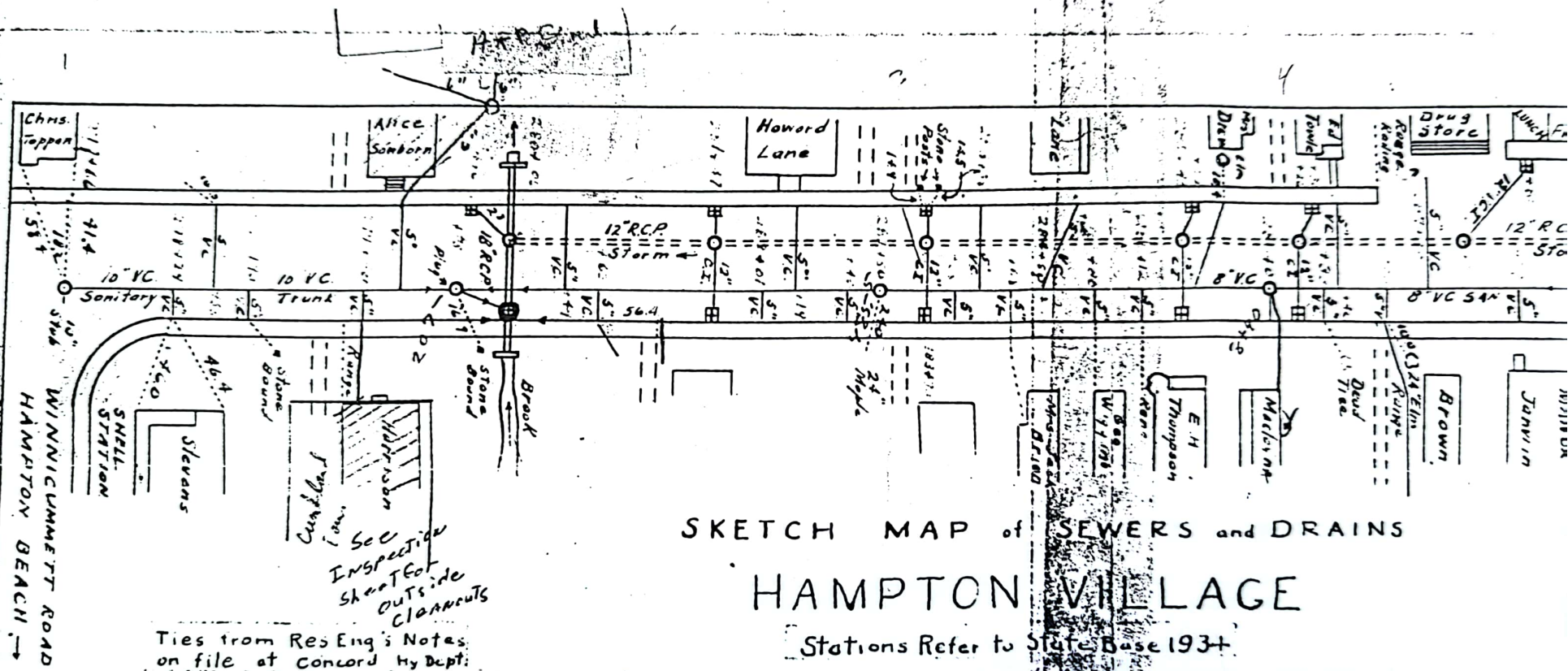
431-9067  
Jef

K. M. Chase

~~called in~~  
8/10  
e-mailed info  
also







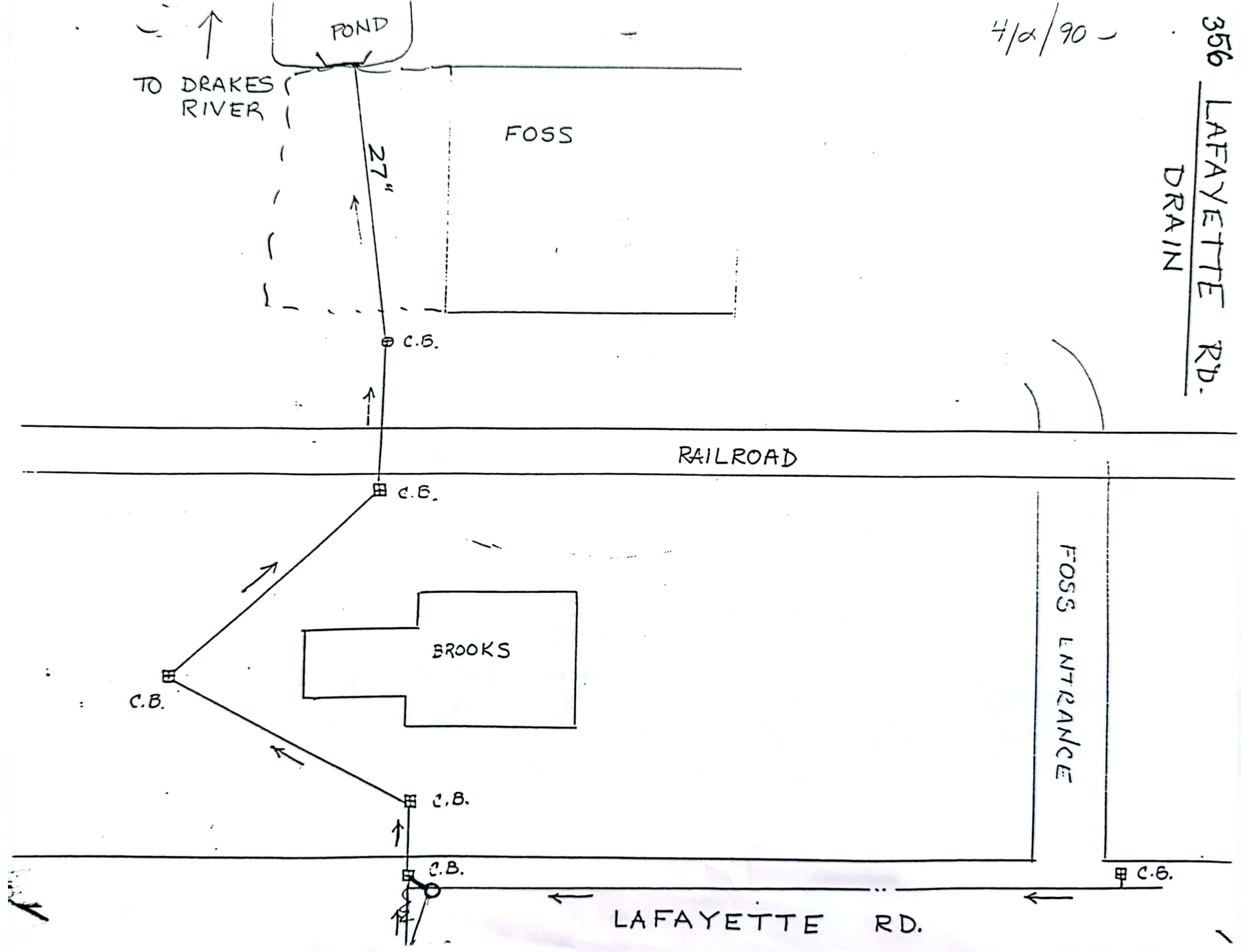
SKETCH MAP of SEWERS and DRAINS

HAMPTON VILLAGE

Stations Refer to State Base 193+

4/2/90 -

356 LAFAYETTE RD.  
DRAIN



EXETER

PORTSMOUTH

HIGH ST.

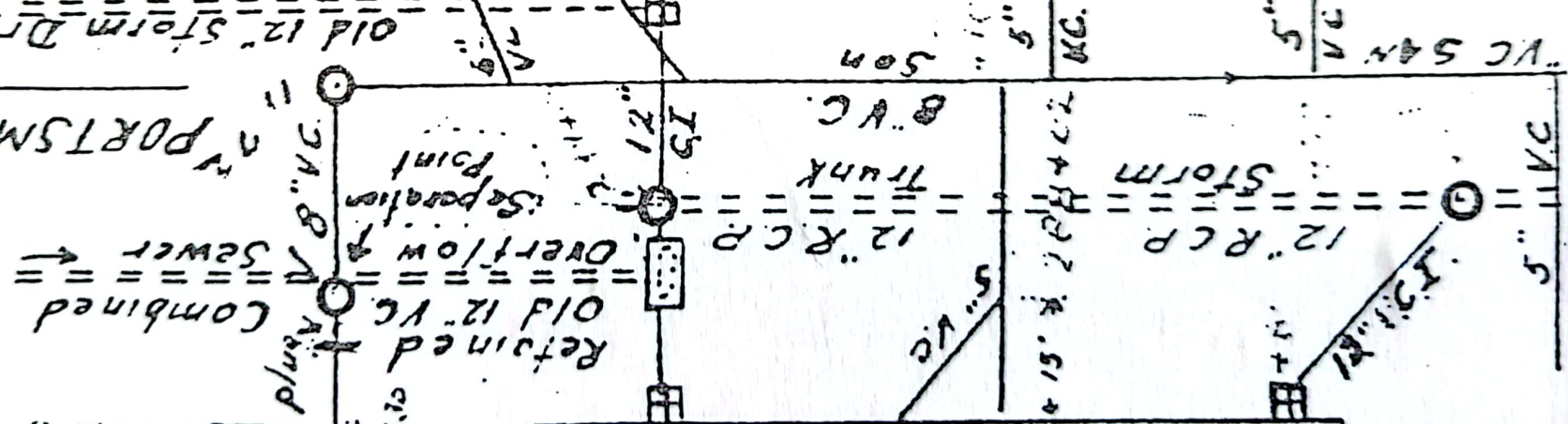
PARK

Parramore Range

First Nat'l St

LUCKY

Store



Store

Store

Store

Domestic  
Sewer

CO-OP  
BANK

65 + 78

A.L.  
Coffin

YORK  
MANOR

Jarvin

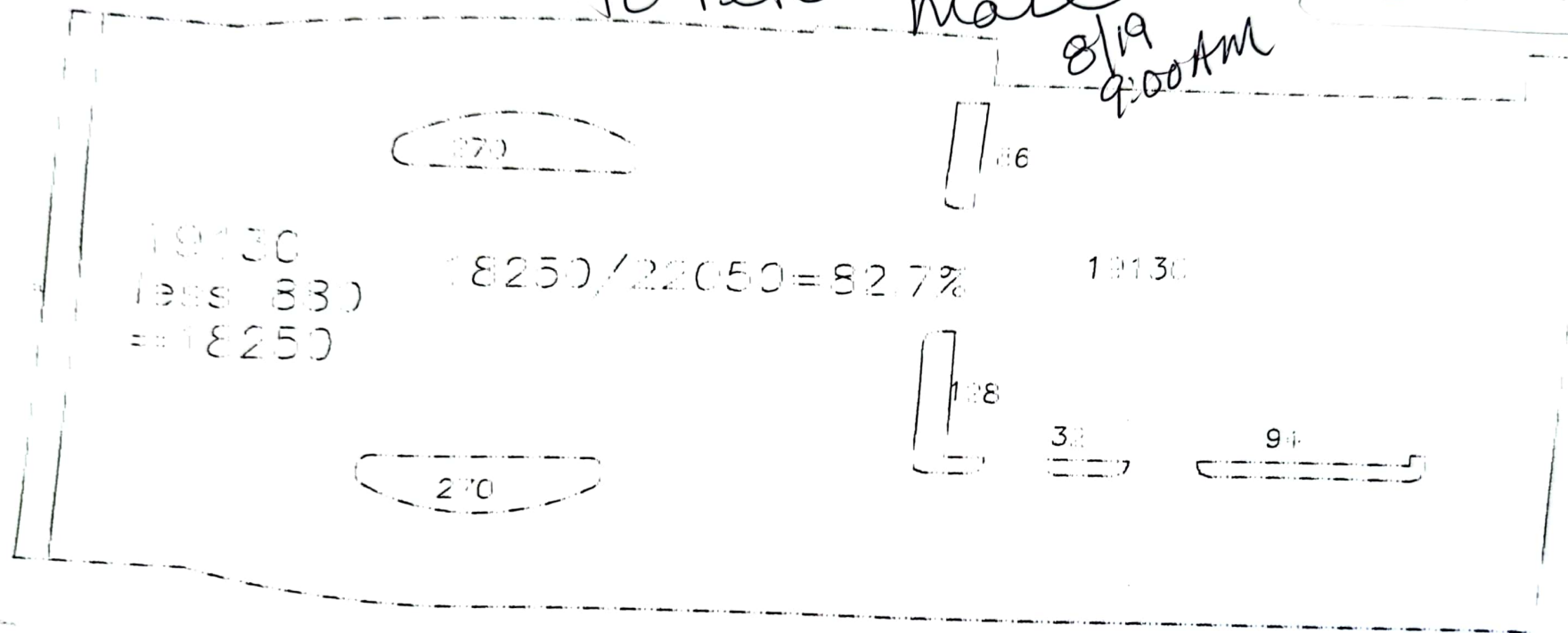
BROWN



Called this m.  
to Peters voice mail

Easement  
commitment  
2078-146

8/19  
9:00 AM



$400 \text{ outside} + 80 \times 2 (\text{is gras}) + 40 (\text{add for length of ret wall}) = 800 \times 5 = 250 \text{ sl}$   
 $18250 + 250 = 18500 / 22050 = 83.9\%$

Footprint of bldg is 4370 sq ft

Can't do next week

arent sewer and water supposed to be 10' apart???

why the 90' bend???

we are screwing with the chutters driveway!!!

invented woods @ rear of lot?

Apparently this  
job never  
ended up  
approved.

See JOB 467